

DATE OF MEETING | April 23, 2018 |

AUTHORED BY | GARY NOBLE, DEVELOPMENT APPROVAL PLANNER, CURRENT PLANNING AND SUBDIVISION |

**SUBJECT** | **DEVELOPMENT PERMIT APPLICATION NO. DP1083 – 6975 ISLAND HIGHWAY NORTH** |

## **OVERVIEW**

### **Purpose of Report**

To present for Council's consideration, a development permit application for three four-storey multi-family development. |

### **Recommendation**

That Council issue Development Permit No. 1083 at 6975 Island highway with the following variances:

- increase the maximum building height of Buildings A, B, and C from 14m to 15.4m; and,
- reduce the required off-street parking from 250 parking spaces to 160 parking spaces. |

## **BACKGROUND**

A development permit application, DP1083, was received from District (North Nanaimo) Limited Partnership on behalf of 0911872 BC Ltd to permit the development of three four-storey multi-family buildings with a total of 151 residential units. The proposed development is Phase 1 of a two-phased development.

### *Site Context*

The vacant subject property is located at the northern boundary of the City in the Woodgrove Urban Node and is framed by two highways – Nanaimo Parkway on the south property line and Island Highway on the north property line. Woodgrove Crossing, a commercial mall, abuts the east property line.

The subject property is within the Urban Parkway designation in the Nanaimo Parkway Design Guidelines.

The Ministry of Transportation and Infrastructure has approved the proposed site access from the Island Highway with a right-in, right-out egress and a left-turn lane for vehicles travelling north on the Island Highway.

**Subject Property:**

<i>Zoning</i>	CC4 – Woodgrove Urban Centre
<i>Location</i>	The vacant subject property is a through-lot located at the north boundary of the city and is bounded by the Nanaimo Parkway on the west property line and Island Highway (19A) on the east property line.
<i>Total Area</i>	2.48ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plans – Woodgrove Urban Node; Map 3 – Development Permit Area No. 4 – Nanaimo Parkway Design – Urban Parkway (Aulds Node); Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development.
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Nanaimo Parkway Development Permit Area Guidelines

**DISCUSSION**

**Proposed Development**

The proposed development of three four-storey buildings is Phase 1 of a two-phased multi-family development. The three buildings, A, B and C have a total of 151 residential units. The following table outlines the residential unit mix and unit numbers for each of the three buildings (3,579.5m<sup>2</sup> in floor area per building):

Unit Type	Building A (51 units)	Building B (49 units)	Building C (51 units)
Studio	4	3	4
One Bedroom	31	29	31
Two Bedroom	16	17	16

The allowable FAR is 1.25; the proposed FAR is 0.43, which permits further development of the parcel in Phase 2.

*Site Design*

The location of the site access allows for an internal road that bisects the property into two developable portions (Phase 1 and Phase 2). The internal road is a core site feature with sidewalks on both sides, treed edges, and pockets of parallel parking (16 parking spaces). The sidewalks lead to a proposed pedestrian roadside trail that runs along the south side of the Island Highway and extends from the site entrance to the controlled intersection at Mary Ellen Drive.

There is also an informal network of onsite pathways, including a pathway along the east property line, which provides additional pedestrian connectivity to the Island Highway, the adjacent Woodgrove Crossing mall, and in between the buildings onsite.

The proposed off-street parking, 160 parking spaces, and additional loading spaces are clustered at-grade between and to the side of the three buildings. The required visitor and disabled persons parking spaces are organized within the parking layout.



The site design options within the boundaries of Phase 1 are constrained by the need to provide a 20m setback from the Nanaimo Parkway for building siting. The siting of three buildings is in a pattern almost parallel to the Island Highway property edge with convenient resident at-grade parking courts between the buildings. Building A has the recommended street presence along the Island Highway to meet the General Development Permit Area Design Guidelines.

A 680m<sup>2</sup> park area is strategically located mid-site on the west side of the internal road so residents of both Phase 1 and 2 can access the site amenity.

### *Building Design*

Buildings A, B, and C have similar building mass and articulation. A different design strategy for each building provides variety to the building form as follows:

#### Building A

The raised parapet of the central building bay with the building entrance and the raised framed panelled building corners divides the roof parapet into five parts so the roof parapet is not a long horizontal plane.

The main building entrance features a two-storey open panelled “L”-shaped frame that highlights the main building entrance. Exterior cladding organization, panels, and planking adds articulation to the building facades.

#### Building B

The raised flat roof detail over the upper storey corner balconies instead of the framed panelled corners divides the otherwise long horizontal roof parapet into three planes.

A two-storey canopy with two vertical columns with a two-storey brick façade backdrop emphasizes the main building entrance. A two-tone exterior cladding regime of panels adds a defined horizontal articulation of the building facades.

#### Building C

The raised shed roof over the balconies at the building corners and the extended raised parapet of the central building bay with the main building entrance divides the roof parapet into five parts to avoid a long horizontal roof parapet plane.

An unsupported angled second-storey structural awning emphasizes the main building entrance. The two-tone exterior cladding of both panels and planks articulates the building both horizontally and vertically.

The site design and building design of the three buildings meets the General Development Permit Area Design Guidelines.

### *Landscape Design*

The proposed landscape uses trees and lawn to create a residential setting around the three buildings.

The park amenity has a resident gathering focus with a natural play structure and outdoor furniture. The amenity space uses trees for edge definition.

*Urban Parkway Character Protection Zone (south property abutting Nanaimo Parkway)*

The recommended width of the Character Protection Zone is 5m. The parking demand and layout on the subject property requires a width reduction to 3m. In order to compensate for the width reduction, there is greater planting with more than the required trees resulting in one tree per two parking spaces. The space between trees is infilled with an evergreen hedge. The planted area also supports a bio-swale for required onsite storm water management. The proposed development meets the intent of the Nanaimo Parkway Development Permit Area Guidelines.

See Attachments for more information.

**Proposed Variances**

*Maximum Allowable Building Height*

The maximum allowable building height is 14m. The proposed building height of each of the three buildings is 15.4m, a proposed variance of 1.4m.

The additional building height on each of the three buildings allows for the roof parapets to be varied and allows for three different roof designs.

*Required Off-Street Parking*

The required parking for multi-family developments is 1.66 parking spaces/unit, or 250 parking spaces. The proposed development has 160 parking spaces, or 1.05 parking spaces per unit, which meets the proposed rate in the draft Parking Bylaw. The proposed parking variance is 90 parking spaces. Within the 160 spaces provided:

- 6 spaces include electric vehicle charging stations;
- 5 required accessible parking spaces are located within the parking layout to allow easy access to the three buildings; and,
- 8 visitor parking spaces are provided.

The property is centrally located within the Woodgrove Urban Node in the OCP and the Woodgrove Mobility Hub in the Nanaimo Transportation Master Plan and it is in close proximity to a broad range of services, amenities, and a transit exchange (at Woodgrove Mall). The proposed development achieves increased residential densities in this mobility hub as supported by City policy to encourage the use of alternative modes of transportation and reduce automobile reliance.

Two pedestrian trail connections are proposed, one along the Island Highway connecting the site entrance to the controlled intersection at Mary Ellen Drive, and another to provide a direct pedestrian connection to Woodgrove Crossing.

In addition, the proposed buildings are designed to include 78 secure bicycle parking spaces and 18 short-term bicycle parking spaces.

Staff support the proposed variances.

### **SUMMARY POINTS**

- Development Permit Application No. DP1083 is a 151 unit multi-family development in three buildings at 6975 Island Highway North.
- The proposed multi-family development meets the intent of both the General Development Permit Area Design Guidelines and the Nanaimo Parkway Development Permit Area Guidelines.
- Staff support the proposed variances.

### **ATTACHMENTS**

ATTACHMENT A: Permit Terms and Conditions  
ATTACHMENT B: Location Plan  
ATTACHMENT C: Site Plans  
ATTACHMENT D: Site Data  
ATTACHMENT E: Building Elevations  
ATTACHMENT F: Building Perspectives  
ATTACHMENT G: Exterior Materials  
ATTACHMENT H: Landscape Plan and Details  
ATTACHMENT I: Aerial Photo  
ATTACHMENT J: BC Company Summary – 0911872 B.C. Ltd.

**Submitted by:**

L. Rowett, Manager  
Current Planning and Subdivision

**Concurrence by:**

D. Lindsay, Director  
Community Development

# **ATTACHMENT A PERMIT TERMS AND CONDITIONS**

## **TERMS OF PERMIT**

The City of Nanaimo “ZONING BYLAW 2011 NO. 4500” is varied as follows:

1. *Section 9.7.1 Size of Buildings* – to increase the maximum permitted building height for Buildings A, B and C from 14m to 15.4m.

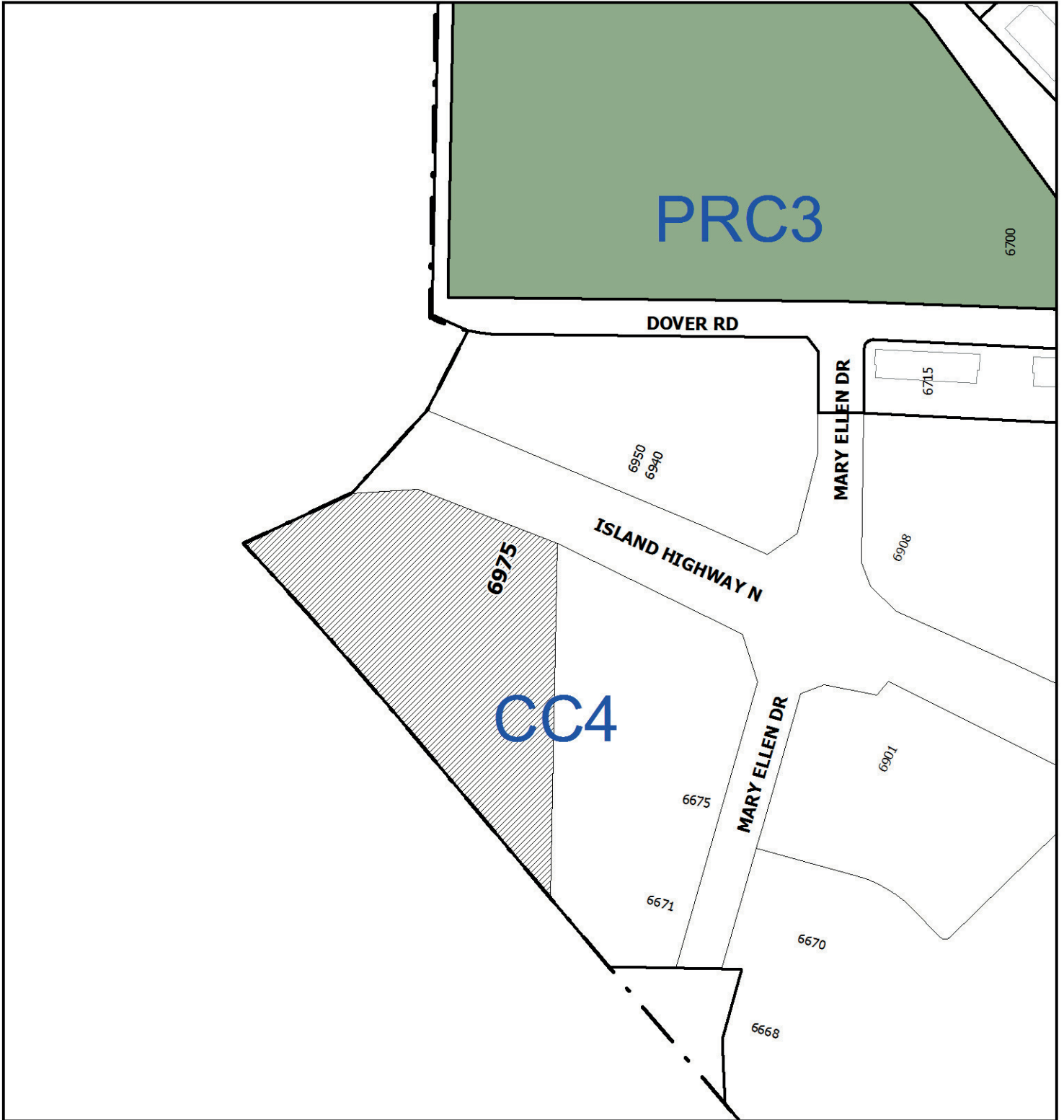
The City of Nanaimo “DEVELOPMENT PARKING BYLAW 2005 NO. 7013” is varied as follows:

1. *Schedule ‘A’* - to reduce the required number of off-street parking spaces from 250 to 160 parking spaces.

## **CONDITIONS OF PERMIT**

1. The subject property is developed in accordance with the Site Plan prepared by Aplin Martin Consultants Ltd., dated 2018-MAR-27, as shown on Attachment C.
2. The subject property is in general compliance with the Building Elevations prepared by Musson Cattell Mackey Partnership dated 2018-MAR-28, as shown on Attachment E.
3. The subject property is in general compliance with the Landscape Plan and Details prepared by Durante Kreuk Ltd. dated 2018-MAR-29, as shown on Attachment E.

ATTACHMENT B  
LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001083

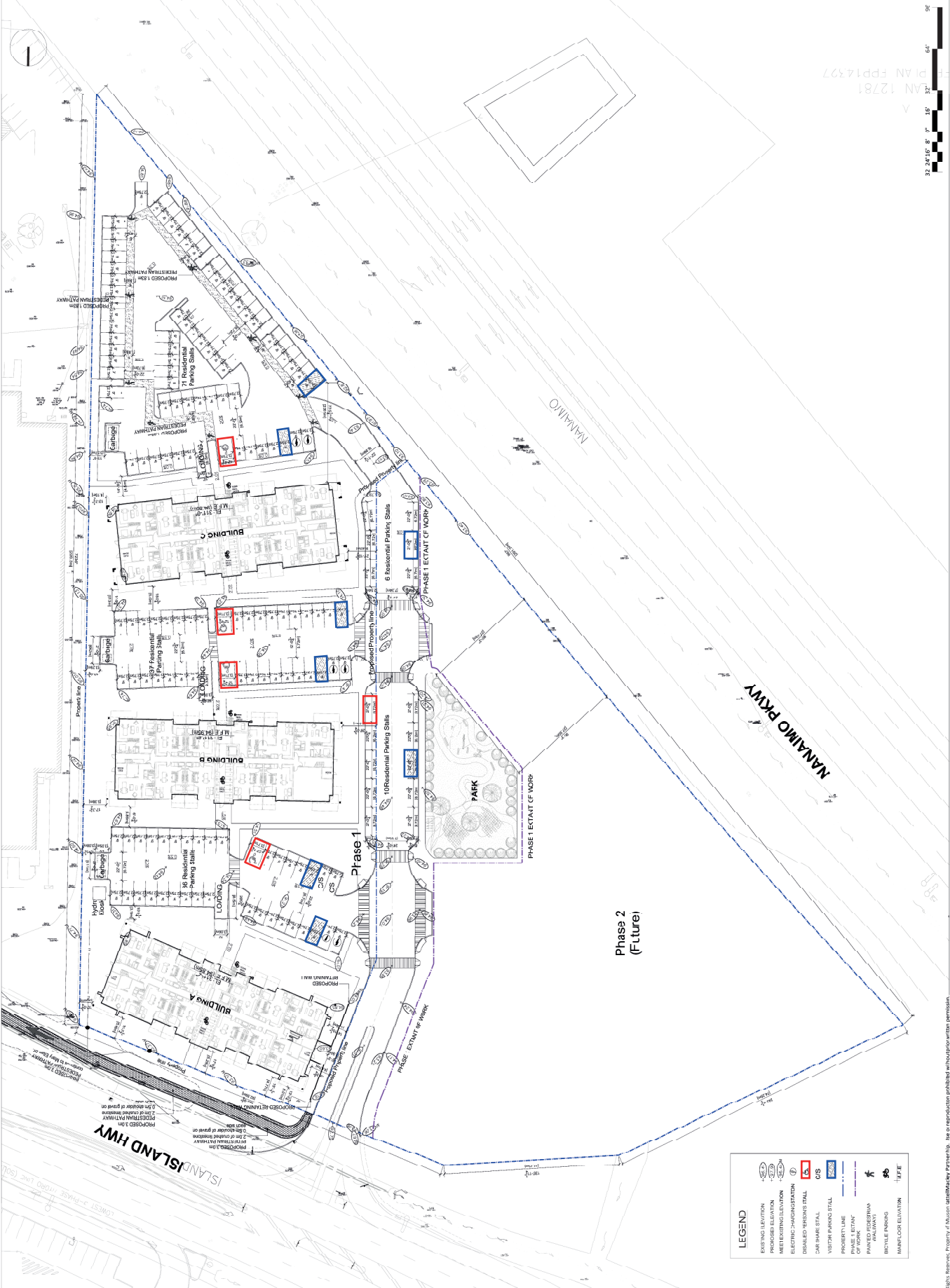


**LOCATION PLAN**

 **Subject Property**

Civic: 6975 Island Highway North  
Lot A, District Lot 26, Wellington District, Plan 12781,  
Except Part in Plan VIP62700 and EPP14327

# ATTACHMENT C SITE PLAN



LEGEND	
	EXISTING ELEVATION
	PROPOSED ELEVATION
	METERING ELEVATION
	ELECTRIC CHARGING STATION
	DISABLED PERSONS STALL
	C/S
	CAR SHARE STALL
	VISITOR PARKING STAL
	PROPERTY LINE
	PHASE 1 TECTANT OF WORK
	PHASE 2 TECTANT OF WORK
	PAVED AREA
	BICYCLE PARKING
	HAND-FLOOR ELEVATION

Project: 6975 NORTH ISLAND HGRWAY NANAIMO  
 Date: 2018-APR-10  
 Scale: 1/32" = 1'-0"  
 Project: 210660  
 Sheet: A 001

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 3 29 MAR 2018  
 2 20 MAR 2018  
 1 17 MAR 2018  
 1 13 MAR 2018  
 1 09 MAR 2018  
 Revision: VY-1A-10-C

PLAN 12781  
 PLAN FPP14327  
 32' 24" 16' 8' 16' 32' 64' 96'  
 0' 6"

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# ATTACHMENT D SITE DATA

<b>NANAIMO- NORTH GROVE - Project Statistics</b>	
Civic address	6975 ISLAND HIGHWAY N, NANAIMO, BC
Legal Description	LOT A, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN 12781 EXCEPT PART IN PLAN VIP62700 AND EPP14327
PID	004-848-861
Zone	CC4 NORTH NANAIMO URBAN CENTRE

<b>Site Area</b>	
Entire site	24,971.75 SM
Phase 1 (East section)	13,145.5 SM
Future Phase 2 (West section)	11,826.25 SM

Area Calculations	
<b>Gross floor area - Building A</b>	
Ground	9,453 SF
2	9,996 SF
3	10,205 SF
4	10,205 SF
Mechanical Penthouse	366 SF
<b>Total- Building A</b>	<b>40,225 SF</b>
<b>Gross floor area - Building B</b>	
Ground	9,453 SF
2	9,996 SF
3	10,205 SF
4	10,205 SF
Mechanical Penthouse	366 SF
<b>Total- Building B</b>	<b>40,225 SF</b>
<b>Gross floor area - Building C</b>	
Ground	9,453 SF
2	9,996 SF
3	10,205 SF
4	10,205 SF
Mechanical Penthouse	366 SF
<b>Total- Building C</b>	<b>40,225 SF</b>
<b>Gross floor area of 3 buildings</b>	<b>120,657 SF</b>
<b>FAR</b>	<b>Proposed FAR</b>
1.25	120,657 SF / 141,497 SF = 0.85

Setbacks	
<b>Minimum Setback Required</b>	<b>Setback Proposed</b>
Front Yard (North)	4.77 M
Side Yard (East)	3.06 M
Side Yard (West)	4.67 M
Rear Yard (South)	23.61 M

(\*) Front yard setback may be reduced to 4.5m where no parking is located between the front property line and the front face of the building.

Building Heights			
Building	Maximum Allowable Height	Proposed Height	Variance
Building A	14 M	15.40 M	1.4 M
Building B	14 M	15.40 M	1.4 M
Building C	14 M	15.40 M	1.4 M

Units Count and Mix			
Units Count - Building A			
Studio	One Bed.	One Bed. + Den	Two Bed.
Ground	1	7	2
2	1	8	4
3	1	7	5
4	1	7	5
<b>Total units - Building A</b>	<b>4</b>	<b>29</b>	<b>2</b>
<b>51</b>			

Units Count - Building B			
Studio	One Bed.	One Bed. + Den	Two Bed.
Ground	-	6	1
2	1	8	4
3	1	7	5
4	1	7	5
<b>Total units - Building B</b>	<b>3</b>	<b>28</b>	<b>1</b>
<b>49</b>			

Units Count - Building C			
Studio	One Bed.	One Bed. + Den	Two Bed.
Ground	1	7	2
2	1	8	4
3	1	7	5
4	1	7	5
<b>Total units - Building C</b>	<b>4</b>	<b>29</b>	<b>2</b>
<b>51</b>			

Unit Mix %			
Studio	One Bed.	One Bed. + Den	Two Bed.
Studio	86	5	49
<b>Total units for 3 buildings</b>	<b>151</b>		
<b>Unit Mix %</b>	<b>7%</b>	<b>57%</b>	<b>3%</b>
<b>Studio</b>	<b>One Bed.</b>	<b>One Bed. + Den</b>	<b>Two Bed.</b>
			33%



Parking	
<b>Residential Parking</b>	
<b>Required per current bylaw</b>	<b>Required per new draft bylaw</b>
Studio	1' x 0.75 = 8.25
One Bed.	9' x 0.88 = 80.08
Two Bed.	49 x 1.26 = 61.74
<b>Total 251</b>	<b>150.07</b>
<b>Visitor Parking</b>	
<b>Required per current bylaw</b>	<b>Required per new draft bylaw</b>
251 stalls / 22= 11.4	152 stalls / 22= 6.9
<b>Total 12</b> (counted toward the overall number of parking spaces required)	<b>Total 7</b> stalls (counted toward the overall number of parking spaces required)
<b>Disabled Person's Parking</b>	
<b>Required per current bylaw</b>	<b>Required per new draft bylaw</b>
2 per 100 required or part thereof	2 per 100 required or part thereof
<b>Total 5</b> (counted toward the overall number of parking spaces required)	<b>Total 4</b> stalls (counted toward the overall number of parking spaces required)
<b>Proposed Electronic charging stations</b>	
6 stalls (counted toward the overall number of parking spaces required)	
<b>Proposed Car Share Parking</b>	
2 stalls (counted toward the overall number of parking spaces required)	
<b>Total parking provided in phase 1 = 160</b>	
<b>Bikes</b>	
0.5 x 152 units = minimum 76 bikes long term proposed (76 bikes long term provided)	
0.1 x 152 units = 15.2 bikes short term proposed (13 bikes short term provided)	
<b>Amenity Area</b>	
696 SF of amenity area is proposed in building B, ground floor	

# ATTACHMENT E BUILDING ELEVATIONS



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**DISTRICT**

Revisions  
 1/11/2016

Scale  
 6/375 NORTH ISLAND  
 HIGHWAY  
 NANAIMO

Project  
**BUILDING A  
 ELEVATIONS**

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 Project  
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1 NORTH ELEVATION  
 1/8" = 1'-0"



2 SOUTH ELEVATION  
 1/8" = 1'-0"

**MATERIALS LEGEND**

- ① - BRICK - COLOR 1 - IRON GRAY BRICK
- ② - BRICK - COLOR 2 - RED BRICK
- ③ - BRICK - CLAD RETAINING WALL
- ④ - METAL PANEL
- ⑤ - WOOD PANEL
- ⑥ - WOOD SOFFIT
- ⑦ - WOOD POST
- ⑧ - WOOD TRIM - COLOR 1 - IRON GRAY

- ⑨ - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
- ⑩ - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
- ⑪ - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- ⑫ - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO

- ⑬ - WOOD PLANK - COLOR 1 - ARCTIC ICE
- ⑭ - WOOD PLANK - COLOR 2 - EVENING BLUE
- ⑮ - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
- ⑯ - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK

- ⑰ - WINDOW VISION GLASS
- ⑱ - WINDOW VENT FRAME
- ⑲ - LAMINATED GLASS
- ⑳ - CONCRETE



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11/11/2020

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NANAIMO

Project  
BUILDING A  
ELEVATIONS

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Date  
2018-1-15-17  
Project  
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1 WEST ELEVATION  
1/16" = 1'-0"



2 EAST ELEVATION  
1/16" = 1'-0"

MATERIALS LEGEND	
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(2) - BRICK - COLOR 2 - RED BRICK	(12) - WOOD SOFFIT
(3) - BRICK - CLAD RETAINING WALL	(13) - WOOD POST
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(6) - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST	(16) - WOOD PLANK - COLOR 2 - EVENING BLUE
(7) - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY	(17) - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
(8) - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO	(18) - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BANK
(9) - WINDOW VISION GLASS	(19) - WINDOW VENTIL FRAME
(20) - LAMINATED GLASS	(20) - LAMINATED GLASS
(21) - CONCRETE	(21) - CONCRETE

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Revisions: 11/11/2018

Scale: 6975 NORTH ISLAND HIGHWAY NANAIMO

Project: BUILDING B ELEVATIONS

REVISION D  
DATE: 10/23  
2018-APR-06

Quantity: 217060  
Date: 10/23/18  
Project: 217060

Sheet: A 303



392'-0" T.O.P. - VARIANCE HEIGHT  
110'-0" FINISH GRADE - VARIANCE HEIGHT  
354'-0" ROOF LEVEL  
342'-6" LEVEL 04  
332'-2" LEVEL 03  
321'-10" LEVEL 02  
311'-6" LEVEL 01 GF (84.35m)

1 NORTH ELEVATION  
1/8" = 1'-0"



392'-0" T.O.P. - VARIANCE HEIGHT  
110'-0" FINISH GRADE - VARIANCE HEIGHT  
354'-0" ROOF LEVEL  
342'-6" LEVEL 04  
332'-2" LEVEL 03  
321'-10" LEVEL 02  
311'-6" LEVEL 01 GF (84.35m)

2 SOUTH ELEVATION  
1/8" = 1'-0"

MATERIALS LEGEND

- (1) - BRICK - COLOR 1 - IRON GRAY
- (2) - BRICK - COLOR 2 - IRON GRAY
- (3) - BRICK - COLOR 3 - IRON GRAY
- (4) - BRICK - COLOR 4 - IRON GRAY
- (5) - BRICK - CLAD RETAINING WALL
- (6) - METAL PANEL
- (7) - WOOD PANEL - COLOR 1 - IRON GRAY
- (8) - WOOD SOFFIT
- (9) - WOOD POST
- (10) - WOOD TRIM - COLOR 1 - IRON GRAY
- (11) - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
- (12) - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
- (13) - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- (14) - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO
- (15) - WOOD PLANK - COLOR 1 - ARCTIC ICE
- (16) - WOOD PLANK - COLOR 2 - EVENING BLUE
- (17) - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
- (18) - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BANK
- (19) - WINDOW VISION GLASS
- (20) - WINDOW VENT FRAME
- (21) - LAMINATED GLASS
- (22) - CONCRETE



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REVISIONS  
1000-1000

Scale  
6975 NORTH ISLAND  
HIGHWAY  
NANAIMO

Project  
BUILDING B  
ELEVATIONS

REVISED  
01.08.23  
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Quantity  
Date 10/8/21  
Project 211060  
Sheet A 304



1 WEST ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

MATERIALS LEGEND

- ① - BRICK - COLOR 1 - IRON GRAY BRICK
- ② - BRICK - COLOR 2 - RED BRICK
- ③ - BRICK - CLAD RETAINING WALL
- ④ - METAL PANEL
- ⑤ - WOOD PANEL
- ⑥ - WOOD SOFFIT
- ⑦ - WOOD POST
- ⑧ - WOOD TRIM - COLOR 1 - IRON GRAY

- ⑨ - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
- ⑩ - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
- ⑪ - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- ⑫ - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO
- ⑬ - WOOD PLANK - COLOR 1 - ARCTIC ICE
- ⑭ - WOOD PLANK - COLOR 2 - EVENING BLUE
- ⑮ - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
- ⑯ - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK

- ⑰ - WINDOW VISION GLASS
- ⑱ - WINDOW VENT FRAME
- ⑲ - LAMINATED GLASS
- ⑳ - CONCRETE



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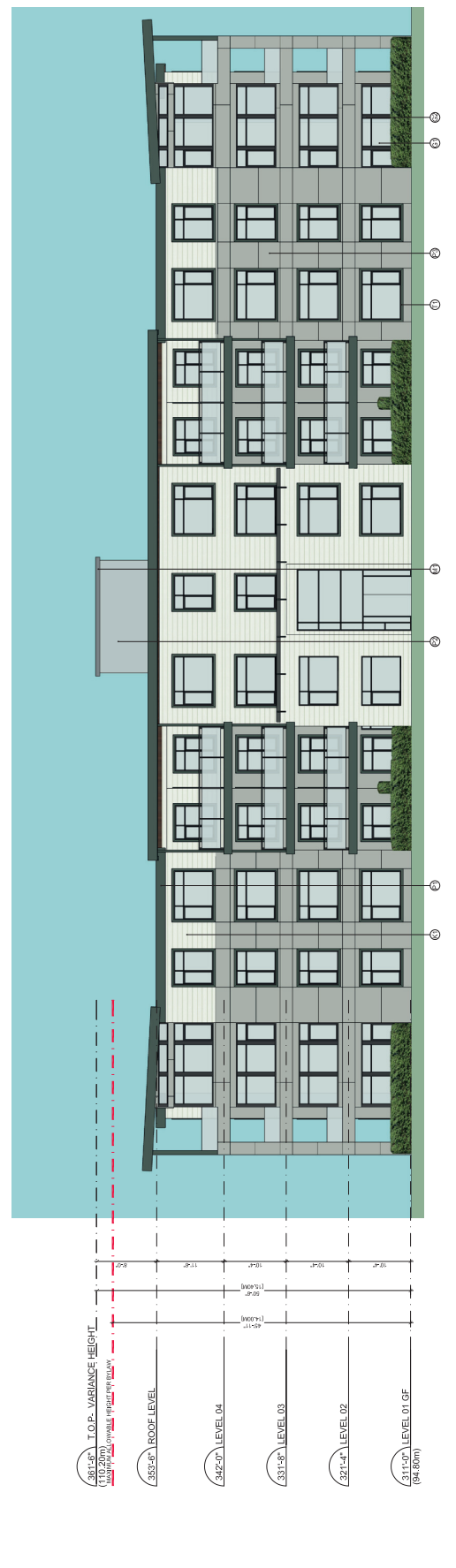
Revisions  
1/17/2016

Scale  
6/975 NORTH ISLAND  
HIGHWAY  
NANAIMO

Project  
BUILDING C  
ELEVATIONS

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DATE: 10.8.3  
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- MATERIALS LEGEND**
- ① - BRICK - COLOR 1 - IRON GRAY
  - ② - BRICK - COLOR 2 - RED BRICK
  - ③ - BRICK - CLAD RETAINING WALL
  - ④ - METAL PANEL
  - ⑤ - WOOD PANEL
  - ⑥ - WOOD SOFFIT
  - ⑦ - WOOD POST
  - ⑧ - WOOD TRIM - COLOR 1 - IRON GRAY
  - ⑨ - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
  - ⑩ - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
  - ⑪ - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
  - ⑫ - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO
  - ⑬ - WOOD PLANK - COLOR 1 - ARCTIC ICE
  - ⑭ - WOOD PLANK - COLOR 2 - EVENING BLUE
  - ⑮ - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
  - ⑯ - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK
  - ⑰ - WINDOW VISION GLASS
  - ⑱ - WINDOW VENT GLASS
  - ⑲ - LAMINATED GLASS
  - ⑳ - CONCRETE

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Mackey  
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DISTRICT

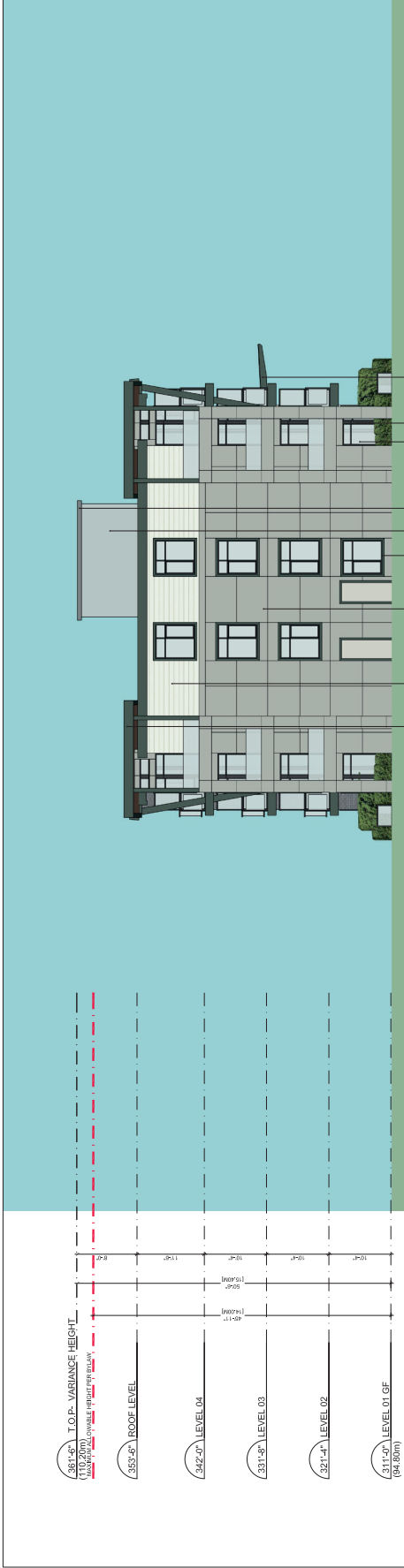
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Scale  
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HIGHWAY  
NANAIMO

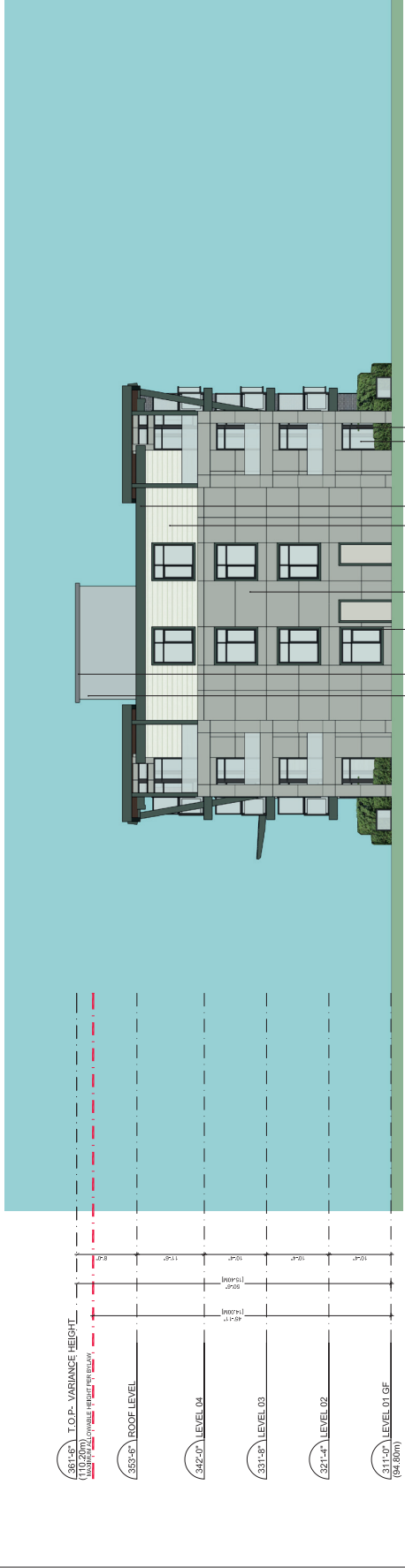
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BUILDING C  
ELEVATIONS

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DP1083  
2018-APR-06  
Date 10/8/18  
Project 211060

Sheet  
A 306



1 WEST ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

MATERIALS LEGEND

<ul style="list-style-type: none"> <li>(1) - BRICK - COLOR 1 - IRON GRAY BRICK</li> <li>(2) - BRICK - COLOR 2 - RED BRICK</li> <li>(3) - BRICK - CLAD RETAINING WALL</li> <li>(4) - METAL PANEL</li> </ul>	<ul style="list-style-type: none"> <li>(5) - WOOD PANEL</li> <li>(6) - WOOD SOFFIT</li> <li>(7) - WOOD POST</li> <li>(8) - WOOD TRIM - COLOR 1 - IRON GRAY</li> </ul>	<ul style="list-style-type: none"> <li>(9) - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY</li> <li>(10) - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST</li> <li>(11) - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY</li> <li>(12) - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO</li> </ul>	<ul style="list-style-type: none"> <li>(13) - WOOD PLANK - COLOR 1 - ARCTIC ICE</li> <li>(14) - WOOD PLANK - COLOR 2 - EVENING BLUE</li> <li>(15) - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE</li> <li>(16) - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK</li> </ul>	<ul style="list-style-type: none"> <li>(17) - WINDOW VISION GLASS</li> <li>(18) - WINDOW VENT FRAME</li> <li>(19) - LAMINATED GLASS</li> <li>(20) - CONCRETE</li> </ul>
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# ATTACHMENT F BUILDING PERSPECTIVES



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**DISTRICT**

Revised: 11/15/2016

Scale  
 Project  
 6975 NORTH ISLAND  
 HIGHWAY  
 NANAIMO

Project  
**BUILDINGS A  
 PERSPECTIVE  
 VIEWS**

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 DP 1083  
 2016-APR-06  
 Drawing  
 Scale N.T.S.  
 Sheet 23/300

Sheet **A 351**



1. NORTH WEST VIEW



2. SOUTH WEST VIEW

**MATERIALS LEGEND**

- ⓐ1 - BRICK - COLOR 1 - YUKON GRAY BRICK
- ⓐ2 - BRICK - COLOR 2 - RED BRICK
- ⓐ3 - BRICK - CLAD RETAINING WALL
- ⓐ4 - METAL PANEL

- ⓐ5 - WOOD PANEL
- ⓐ6 - WOOD SOFFIT
- ⓐ7 - WOOD POST
- ⓐ8 - WOOD TRIM - COLOR 1 - IRON GRAY

- ⓐ9 - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
- ⓐ10 - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
- ⓐ11 - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- ⓐ12 - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO

- ⓐ13 - WOOD PLANK - COLOR 1 - ARCTIC ICE
- ⓐ14 - WOOD PLANK - COLOR 2 - EVENING BLUE
- ⓐ15 - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
- ⓐ16 - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK

- ⓐ17 - WINDOW WISION GLASS
- ⓐ18 - WINDOW WINT FRAME
- ⓐ19 - LAMINATED GLASS
- ⓐ20 - CONCRETE

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**DISTRICT**

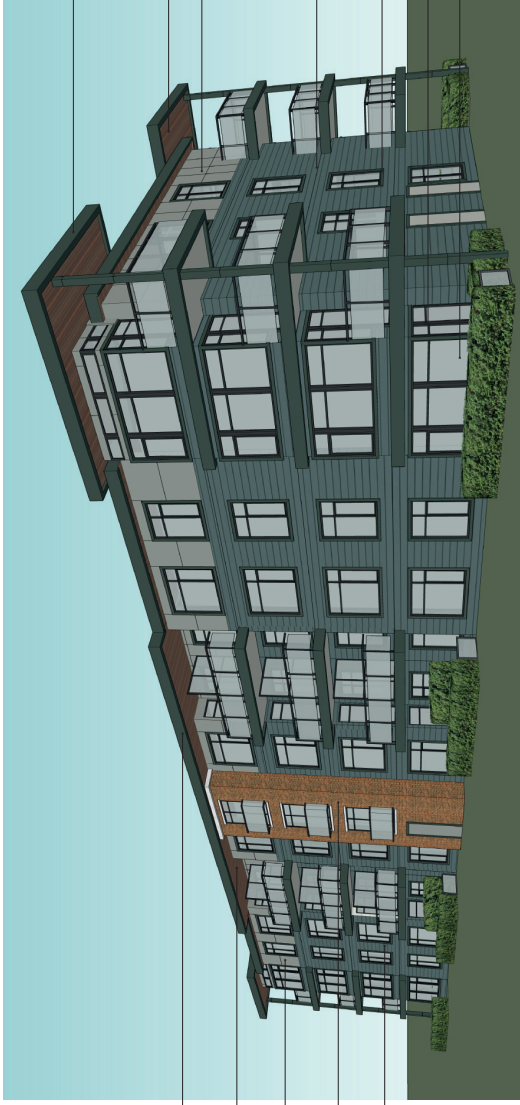
Revisions: 11/17/2016

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 HIGHWAY  
 NANAIMO

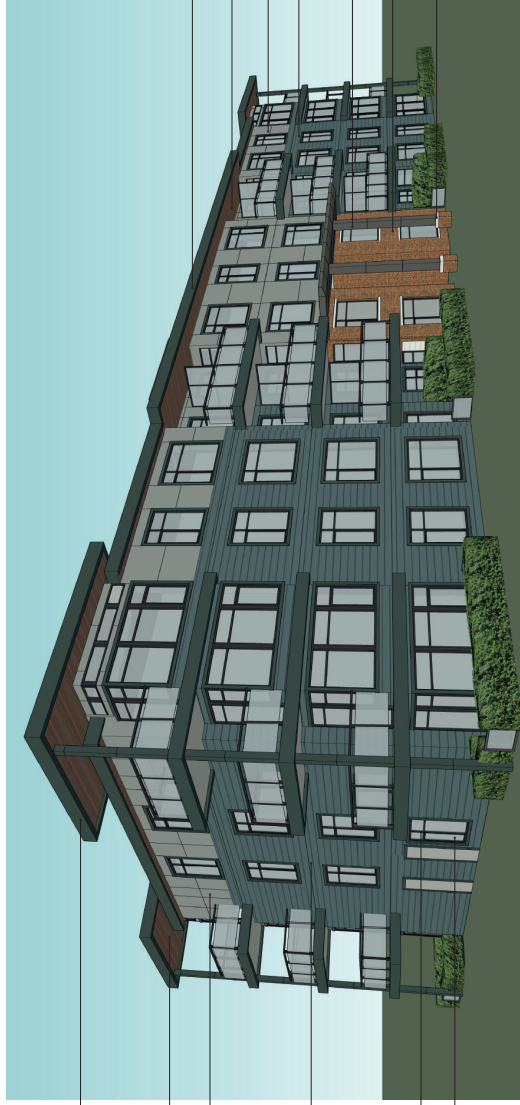
Project: BUILDING B  
 PERSPECTIVE  
 VIEWS

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 2016-APR-06  
 N.T.S.  
 2/28/16

Sheet: A352



1. NORTH WEST VIEW



2. SOUTH WEST VIEW

**MATERIALS LEGEND**

- ① - BRICK - COLOR 1 - YUKON GRAY BRICK
- ② - BRICK - COLOR 2 - RED BRICK
- ③ - BRICK - CLAD RETAINING WALL
- ④ - METAL PANEL

- ⑤ - WOOD PANEL
- ⑥ - WOOD SOFFIT
- ⑦ - WOOD POST
- ⑧ - WOOD TRIM - COLOR 1 - IRON GRAY

- ⑨ - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
- ⑩ - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
- ⑪ - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- ⑫ - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO

- ⑬ - WOOD PLANK - COLOR 1 - ARCTIC ICE
- ⑭ - WOOD PLANK - COLOR 2 - EVENING BLUE
- ⑮ - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
- ⑯ - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK

- ⑰ - WINDOW WINDOW GLASS
- ⑱ - WINDOW WINDY FRAME
- ⑲ - LAMINATED GLASS
- ⑳ - CONCRETE

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(PROJECT:03103131526) - 695 N ISLAND ST / PROJECT:03103131526 - 695 N ISLAND ST - 6975 NORTH ISLAND HIGHWAY NANAIMO BC V9A 5G6



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Architects: MCM ARCHITECTS  
 Project: 2378360

Scale: 1:100  
 6975 NORTH ISLAND  
 HIGHWAY  
 NANAIMO

Project: BUILDING C  
 PERSPECTIVE  
 VIEWS

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 2378360

Sheet: A353



1. NORTH WEST VIEW



2. SOUTH WEST VIEW

**MATERIALS LEGEND**

- (B1) - BRICK - COLOR 1 - YUKON GRAY BRICK
- (B2) - BRICK - COLOR 2 - RED BRICK
- (B3) - BRICK - CLAD RETAINING WALL
- (M1) - METAL PANEL

- (W1) - WOOD PANEL
- (W2) - WOOD SOFFIT
- (W3) - WOOD POST
- (T1) - WOOD TRIM - COLOR 1 - IRON GRAY

- (P1) - LARGE FORMAT PANEL - COLOR 1 - IRON GRAY
- (P2) - LARGE FORMAT PANEL - COLOR 2 - LIGHT MIST
- (P3) - LARGE FORMAT PANEL - COLOR 3 - SLATE GRAY
- (P4) - LARGE FORMAT PANEL - COLOR 4 - RICH ESPRESSO

- (K1) - WOOD PLANK - COLOR 1 - ARCTIC ICE
- (K2) - WOOD PLANK - COLOR 2 - EVENING BLUE
- (S1) - FIBRE CEMENT SOFFIT - COLOR 1 - ARCTIC ICE
- (S2) - FIBRE CEMENT SOFFIT - COLOR 2 - TIMBER BARK

- (G1) - WINDOW WISION GLASS
- (G2) - WINDOW WINTL FRAME
- (G3) - LAMINATED GLASS
- (C) - CONCRETE

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# ATTACHMENT G EXTERIOR MATERIALS



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**DISTRICT**

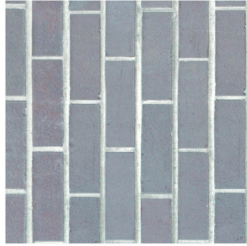



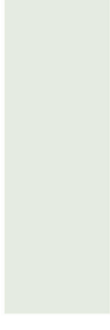





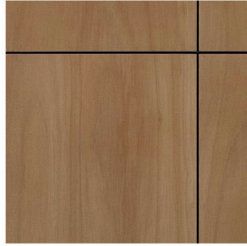

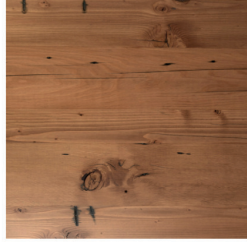







Revisions: 1 1/17/2016

Scale  
 6975 NORTH ISLAND  
 HIGHWAY  
 NANAIMO

Project  
**MATERIAL BOARD**

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 2016-AP-RC-06  
 Drawing  
 Scale N.T.S.  
 Project 2378769

Sheet  
**A 380**

				
(B1)	(M1)	(G1)	(K1)	(S1)
Yukon Gray Brick	Metal Panel	Window Vision Glass	Arctic White	Arctic White
				
(B2)	(C1)	(G2)	(K2)	(S2)
Red Brick	Concrete	Window Vinyl Frame	Evening Blue	Timber Bark
				
(W1)	(W2)	(W3)	(P1)	(T1)
Oak Wood Panel	Wood Soffit	Wood Post	Iron Gray	Iron Gray
				
(P2)	(P3)	(P4)		
Light Mist	Slate Gray	Rich Espresso		

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PROJECT: 0310131286 - 000 NANAIMO CITY PRODUCTION | 4570626157606\_0380\_MATERIAL\_BOARD.DWG | 30-Mar-2016 - 1:55 PM | 01-00-0001

# ATTACHMENT H LANDSCAPE PLAN AND DETAILS

**DRAWING LIST**

L-1	Overall Plan - Planting Plan	1/16" = 10'
L-2	Materials + Planting Plan - North	1/8" = 10'
L-3	Materials + Planting Plan - South	As Shown
L-5	Details	As Shown

**LANDSCAPE NOTES**

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standards.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standards. Plant sizes shall be as shown in the plant list and the Standard for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list specifies a plant size, these shall be as defined in the B.C. Landscape Standards.
- When Landscape Area are to be irrigated with a high efficiency design irrigation system to BASIS Standards, or with timer.
- All irrigation valve boxes equipped with quick-couplers.
- Provide at least 48 hrs notice for all plants and trees to be reviewed by landscape consultant at nursery prior to delivery to site, as per landscape specification.
- Obtain Consultant review and acceptance of growing medium samples and test results prior to delivery to site as per landscape specification.
- All staked trees in accordance with BCMA Standards.
- ALL STREET TREES or trees near sidewalks/avenues - Install 8" x 18" Deep Root Barrier centered on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
- Soil depths to meet or exceed the BCMA Landscape Standard.

**TREE LIST**

Sym	Qty	Botanical Name	Common Name	Size/Spacing/Comments
	29	Acer rubrum 'Sun Valley'	Sun Valley red maple	6cm cal. WB
	3	Acer macrophyllum	Big Leaf maple	5cm cal. WB
	14	Acer glaberrimum 'Princeton Gold'	Princeton Gold Norway maple	6cm cal. B+B
	13	Chamaecyparis nootkanensis 'Pendular'	Weeping Nootka cypress	2.5m H WB
	8	Fokius spem. 'Palmore'	Palmore green ash	7cm cal. WB
	17	Picea amabilis 'Burs'	Seaboard spruce	2.5m H WB
	5	Pinus contorta	Parke Gold loblolly pine	2.5m H WB
	13	Populus tremuloides 'Parke Gold'	Parke Gold loblolly pine	7cm cal. WB
	18	Pinus serotina 'Kancan'	Kwanzan flowering cherry	2.5m H WB
	13	Pseudotsuga menziesii var. Glauca	Rocky Mtn. Douglas fir	2.5m H WB
	27	Quercus robur 'Crimson Spire'	Crimson Spire red oak	5cm cal. B+B (columnar)
	3	Quercus garryana	Garry oak	2m H WB

Note: No Offsite trees included in count - refer to L-1.

**PLANTING LIST**

Sym	Qty	Botanical Name	Common Name	Size/Spacing/Comments
	206	Cornus sericea 'Keely'	Dwarf Red-osier dogwood	#2 pot 30" o.c.
	629	Lonicera palata	Box-leaved honeysuckle	#2 pot 18" o.c.
	233	Vaccinium ciliatum	Box-leafed huckleberry	#2 pot 18" o.c.
	63	Rhododendron 'Cunningham White'	Cunningham's White Rhodo.	#2 pot 36" o.c.
	2,321	Poa annua	Lawn	4" pot 18" o.c.
	49	Polygonatum multiflorum	Walters' sword fern	#2 pot 24" o.c.
	437	Polygonatum multiflorum	Walters' sword fern	#2 pot 24" o.c.
	1,554	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 12" o.c.
	262	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	141	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
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	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.

**PERMEABLE CALCULATION**

Permeable Pavers: 2,503m<sup>2</sup>  
 Depth of Soil (min.): 450mm  
 Depth of soil for New Tree (min): 900mm

**MATERIALS LEGEND**

- Permeable Paver: Size: TBD, Colour: Grey
- Special Paver: Size: 24 x 24", Colour: Charcoal
- Play Surface: Wood Fiber
- Lawn
- CIF Concrete Sidewalk: Brown Finish w/ saw cuts
- Gravel Path

**FURNISHINGS LEGEND**

- Special Paver: Size: 24 x 24", Colour: Charcoal
- Play Surface: Wood Fiber
- Lawn
- Shrub/Perennial Beds
- Green Hedge
- Class B Bicycle Racks (3)
- Custom Wood Bench
- Kids Play Structure
- Natural Play Structure
- Outdoor Furniture: Table + Chairs

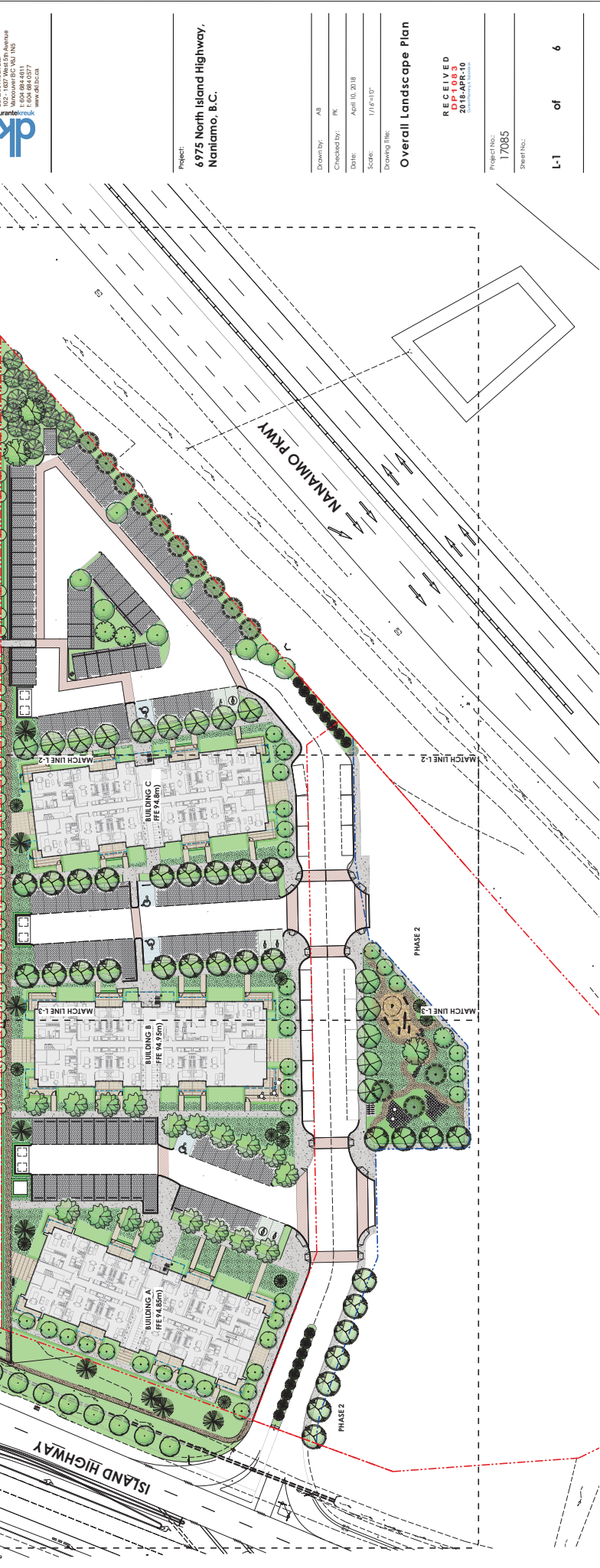
**LIGHTING LEGEND**

- Wall Mounted Sconce
- Light Standard / Bollard
- Wall Light
- Up / Feature Light

Note: Specifications and lighting products to be coordinated with electrical and are subject to change.

**PLANTING LIST (Continued)**

Sym	Qty	Botanical Name	Common Name	Size/Spacing/Comments
	49	Polygonatum multiflorum	Walters' sword fern	#2 pot 24" o.c.
	437	Polygonatum multiflorum	Walters' sword fern	#2 pot 24" o.c.
	1,554	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 12" o.c.
	262	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	141	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
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	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.
	209	Polystichum acrostichoides	Polystichum acrostichoides	#1 pot 24" o.c.



**Overall Landscape Plan**

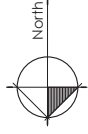
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Drawn by: AB  
 Checked by: PK  
 Date: April 10, 2018  
 Scale: 1/16" = 10'  
 Drawing Title: Overall Landscape Plan

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 DP 1083  
 2018-APR-10

Project No.: 17085  
 Sheet No.:  
 L-1 of 6





4 Mar 28, 2018 Release for DP  
 2 Feb 14, 2018 Issue for Coordination  
 1 Oct 05, 2017 Issue for Client Review  
 Date: / /  
 Revisions:



Project:  
**6975 North Island Highway,**  
**Nanaimo, B.C.**

Drawn by: AB  
 Checked by: PK  
 Date: April 10, 2018  
 Scale: 1/8" = 10'

Drawing Title:  
**OFF-Site Materials +  
 Planting Plan**

RECEIVED  
 DP 1083  
 2018-APR-10

Project No.:  
 17085  
 Sheet No.:

L-1.1 of 6

Sym	Botanical Name	Common Name	Site Spacing/Comments
	Phlox carolinensis	Shrub phlox	2.5m H / W x 8
	Cornus paniculata 'Fallgold'	European hornbeam	5cm cal. / 8' B

Seed Mix
Knee High Meadow Mix
Xeriscape Mix (low maintenance once established)

**Notes:**

- All xeriscape mixes to be hydroseeded. Refer to West Coast Seeds for more information. Seeding to be approved by City of Nanaimo.
- Contact for local seed: WestCoastSeeds.com or 604.932.8820
- Contact for local seed: WestCoastSeeds.com or 604.932.8820
- Refer to Nanaimo Tree Implementation Plan page 34 for typical construction detail of trail.

**OFFSITE PLANTING LIST**

Proposed Trail Property

Xeriscape Mix - refer to West Coast Seeds

Knee High Meadow Mix - refer to West Coast Seeds

Proposed Street Trees to City of Nanaimo Standards

Proposed Berm / Trail

Proposed Street Trees to City of Nanaimo Standards

Proposed Street Trees to City of Nanaimo Standards

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Proposed Street Trees to City of Nanaimo Standards

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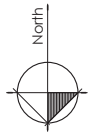
**ISLAND HIGHWAY**

BUILDING A FFE 94.85m

BUILDING B FFE 94.95m

PHASE 2

PHASE 2



- 4 Mar 28, 2018 Release for DP
  - 3 Feb 16, 2018 Issue for Coordination
  - 2 Oct 05, 2017 Issue for Client Review
  - 1
- Disc: / Date: / Item:
- Revised:



Project:  
**6975 North Island Highway,  
 Nanaimo, B.C.**

Drawn by:	AB
Checked by:	PK
Date:	April 10, 2018
Scale:	1/8" = 1'-0"
Drawing Title:	

**Materials +  
 Planting Plan - North**

**RECEIVED  
 DP 1088  
 2018-APR-10**

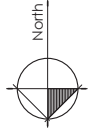
Project No.:  
**17085**

Sheet No.:

**L-2 of 6**







- 1 Mar 29, 2018 Release for DP
  - 2 Feb 16, 2018 Issue for Coordination
  - 3 Oct 05, 2017 Issue for Client Review
- Rev: \_\_\_\_\_  
Date: \_\_\_\_\_  
Item: \_\_\_\_\_



100-1107 West 25th Avenue  
 Vancouver BC V6J 1K5  
 Tel: 604 684 9377  
 www.dk.ca

Project:  
**6975 North Island Highway,  
 Nanaimo, B.C.**

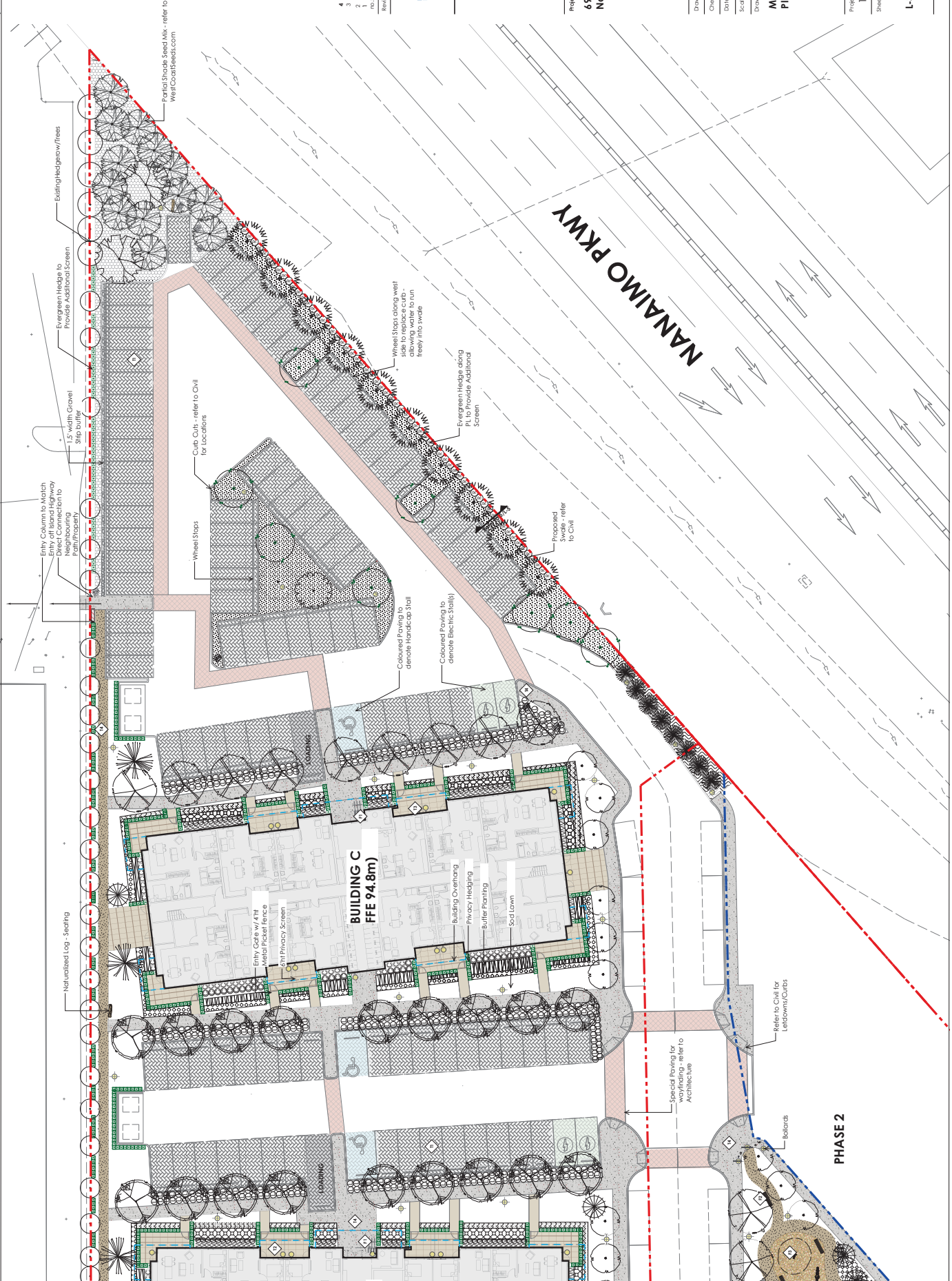
Drawn by:	AB
Checked by:	PK
Date:	March 28, 2018
Scale:	1/8" = 1'-0"
Drawing Title:	

**Materials +  
 Planting Plan - South**

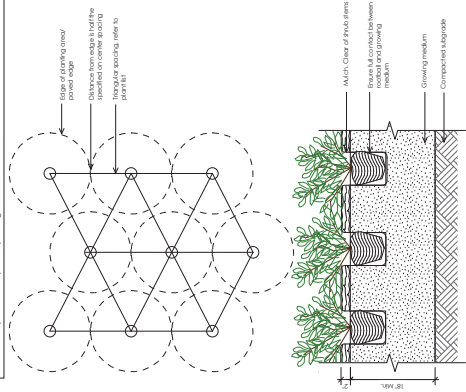
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 DP1085  
 2018-APR-10

Project No.:  
 17085  
 Sheet No.:

L-3 of 6



- GENERAL NOTE:**
1. Plant to be planted with top of rootball level with finish grade.
  2. Plants shall be installed in accordance with the manufacturer's instructions.
  3. Plants only to be installed in areas approved by the landscape architect.
  4. Plants shall be installed in areas approved by the landscape architect prior to planting.

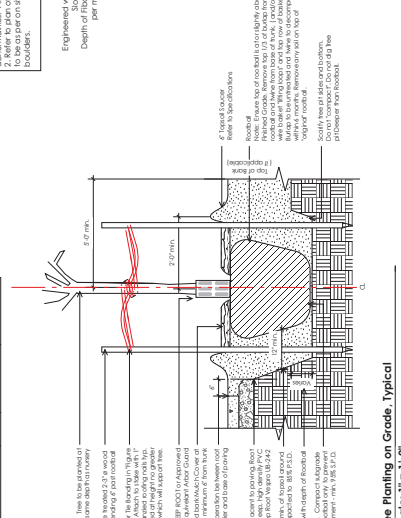


1. Typical Planting Layout  
Scale: 1" = 1'-0"

**GENERAL NOTE:**

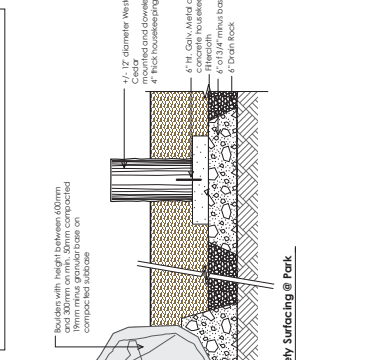
1. Do not cut trees located in planting area.
2. Do not cut trees located in planting area.
3. Do not cut trees located in planting area.
4. Do not cut trees located in planting area.
5. Do not cut trees located in planting area.
6. Do not cut trees located in planting area.
7. Do not cut trees located in planting area.
8. Do not cut trees located in planting area.
9. Do not cut trees located in planting area.
10. Do not cut trees located in planting area.

Item No.	Quantity	Unit	Material	Notes
1	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
2	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
3	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
4	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
5	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
6	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
7	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
8	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
9	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete
10	100	sq. ft.	1/2" x 1/2" x 1/2" concrete	1/2" x 1/2" x 1/2" concrete



2. Tree Planting on Grade, Typical  
Scale: 1" = 1'-0"

- GENERAL NOTE:**
1. Do not cut trees located in planting area.
  2. Do not cut trees located in planting area.
  3. Do not cut trees located in planting area.
  4. Do not cut trees located in planting area.
  5. Do not cut trees located in planting area.
  6. Do not cut trees located in planting area.
  7. Do not cut trees located in planting area.
  8. Do not cut trees located in planting area.
  9. Do not cut trees located in planting area.
  10. Do not cut trees located in planting area.



3. Boulders and Logs in Fiber Safety Surfacing @ Park  
Scale: 1" = 1'-0"

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6975 North Island Highway, Nanaimo, B.C.

Project: 6975 North Island Highway, Nanaimo, B.C.

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Checked by: PK  
Date: April 10, 2018  
Scale: As Shown  
Drawing Title: Details

Project No.: 17085  
Sheet No.:

1 of 6

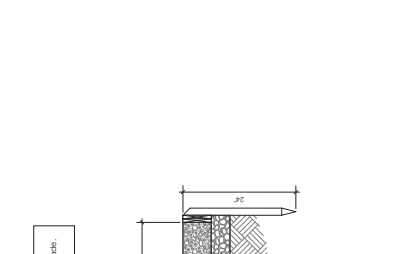
**RECEIVED**  
2018-APR-10  
6975 North Island Highway, Nanaimo, B.C.

Project: 6975 North Island Highway, Nanaimo, B.C.

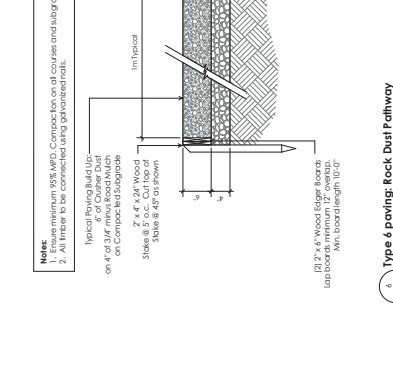
Drawn by: AB  
Checked by: PK  
Date: April 10, 2018  
Scale: As Shown  
Drawing Title: Details

Project No.: 17085  
Sheet No.:

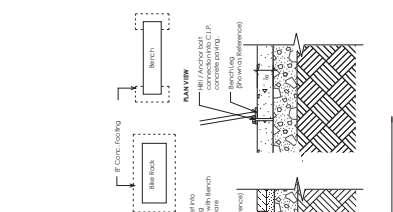
2 of 6



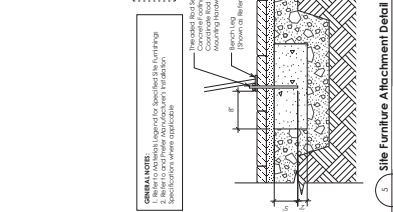
4. Type 6 paving: Rock Dust Pathway  
Scale: 1" = 1'-0"



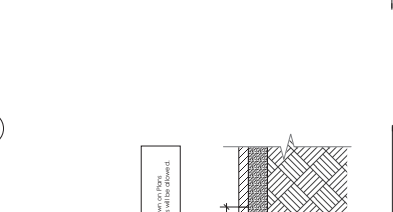
5. CIP Concrete Paving - on Grade  
Scale: 1" = 1'-0"



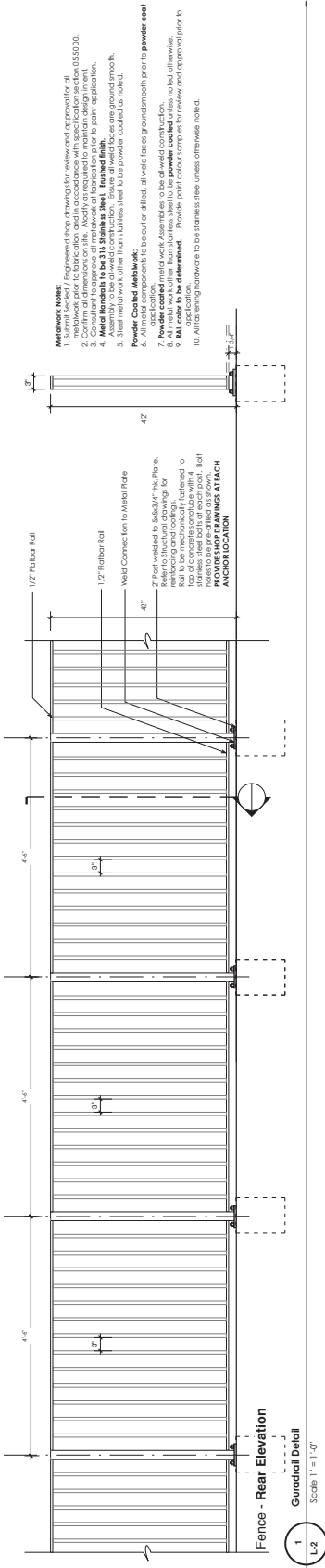
6. Site Furniture Attachment Detail  
Scale: 1" = 1'-0"



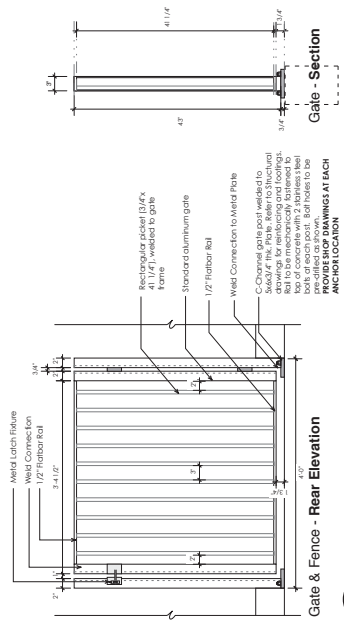
7. Concrete Hydrated Pavers  
Scale: 1" = 1'-0"



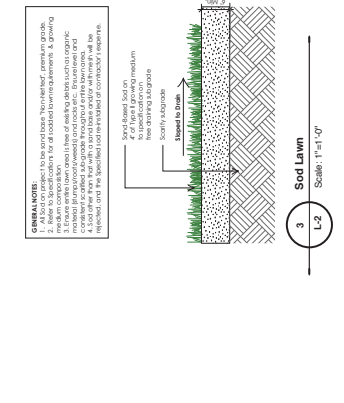
8. Hydroseeded Meadow on Grade  
Scale: 1" = 1'-0"



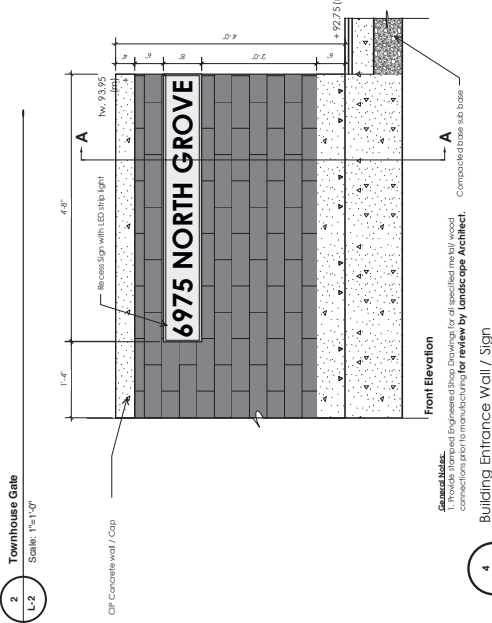
1 **Fence - Rear Elevation**  
 General Detail  
 Scale: 1" = 1'-0"



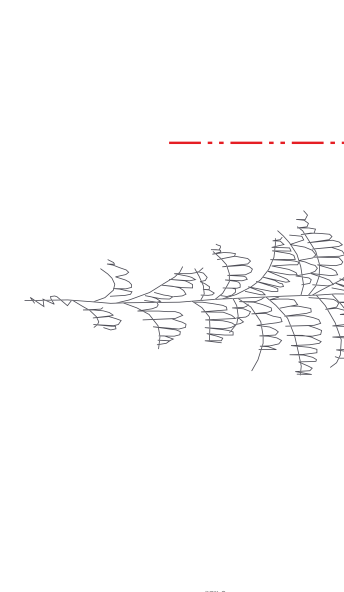
2 **Gate & Fence - Rear Elevation**  
 Scale: 1" = 1'-0"



3 **Soil Lawn**  
 Scale: 1" = 1'-0"



4 **Townhouse Gate**  
 Front Elevation  
 Scale: 1" = 1'-0"



5 **Typical Bio-Swale**  
 Scale: 1" = 1'-0"

- Material Notes:**
1. Submit sealed / stamped drawings for review and approval for all.
  2. Confirm all dimensions on site. Modify or required to maintain design intent.
  3. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  4. **Weld Hardware to be 316 Stainless Steel, finished finish.**
  5. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  6. All material components to be cut or drilled. All weld faces ground smooth prior to powder coat.
  7. **Powder Coated Metal Work Assemblies to be of a standard construction.**
  8. All material components to be of a standard construction. Ensure all weld faces are ground smooth.
  9. **All color to be as indicated.**
  10. All fastening hardware to be of a standard steel unless otherwise noted.

- Powder Coated Materials:**
1. All material components to be cut or drilled. All weld faces ground smooth prior to powder coat.
  2. **Powder Coated Metal Work Assemblies to be of a standard construction.**
  3. All material components to be of a standard construction. Ensure all weld faces are ground smooth.
  4. **All color to be as indicated.**
  5. All fastening hardware to be of a standard steel unless otherwise noted.

- GENERAL NOTES:**
1. Refer to specifications for all construction items.
  2. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  3. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  4. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  5. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  6. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
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  9. All materials to be of a standard construction. Ensure all weld faces are ground smooth.
  10. All materials to be of a standard construction. Ensure all weld faces are ground smooth.

- PROVIDE SHOP DRAWINGS AT EACH ANCHOR LOCATION**

- PROVIDE SHOP DRAWINGS AT EACH ANCHOR LOCATION**

- PROVIDE SHOP DRAWINGS AT EACH ANCHOR LOCATION**

- PROVIDE SHOP DRAWINGS AT EACH ANCHOR LOCATION**

**durante**  
 6 Duran Way, Unit 102  
 Vancouver, BC, V6J 1H5  
 Tel: 604-688-0977  
 www.durante.ca

Project: **6975 North Island Highway, Nanaimo, B.C.**

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Checked by:	PK
Date:	April 10, 2018
Scale:	As Shown
Drawing Title:	

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**DP 1083**  
 2018-APR-10

Project No.: **17085**  
 Sheet No.: **L-5**



ATTACHMENT I  
AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001083





ATTACHMENT J  
BC COMPANY SUMMARY - 0911872 B.C. LTD.



BC Registry  
Services

Mailing Address:  
PO Box 9431 Stn Prov Govt  
Victoria BC V8W 9V3  
www.corporateonline.gov.bc.ca

Location:  
2nd Floor - 940 Blanshard Street  
Victoria BC  
1 877 526-1526

**BC Company Summary**

For  
**0911872 B.C. LTD.**

**Date and Time of Search:** September 27, 2017 01:49 PM Pacific Time

**Currency Date:** August 03, 2017

**ACTIVE**

**Incorporation Number:** BC0911872

**Name of Company:** 0911872 B.C. LTD.

**Recognition Date and Time:** Incorporated on May 31, 2011 02:38 PM Pacific Time

**In Liquidation:** No

**Last Annual Report Filed:** May 31, 2016

**Receiver:** No

**REGISTERED OFFICE INFORMATION**

**Mailing Address:**

2800 - 650 WEST GEORGIA STREET  
VANCOUVER BC V6B 4N7  
CANADA

**Delivery Address:**

2800 - 650 WEST GEORGIA STREET  
VANCOUVER BC V6B 4N7  
CANADA

**RECORDS OFFICE INFORMATION**

**Mailing Address:**

2800 - 650 WEST GEORGIA STREET  
VANCOUVER BC V6B 4N7  
CANADA

**Delivery Address:**

2800 - 650 WEST GEORGIA STREET  
VANCOUVER BC V6B 4N7  
CANADA

**DIRECTOR INFORMATION**

**Last Name, First Name, Middle Name:**

Crema, Brandon

**Mailing Address:**

3600 OSPREY CRT  
NORTH VANCOUVER BC V7H 2V3  
CANADA

**Delivery Address:**

3600 OSPREY CRT  
NORTH VANCOUVER BC V7H 2V3  
CANADA

**Last Name, First Name, Middle Name:**

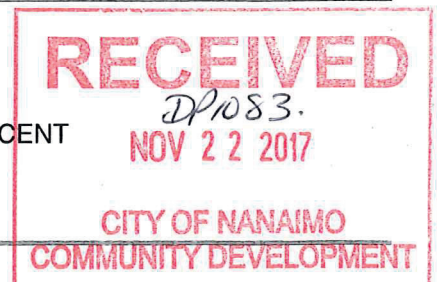
Francis, David

**Mailing Address:**

190 CANTERBURY CRESCENT  
NANAIMO BC V9T 4S4  
CANADA

**Delivery Address:**

190 CANTERBURY CRESCENT  
NANAIMO BC V9T 4S4  
CANADA



**Last Name, First Name, Middle Name:**

Hammond, David

**Mailing Address:**

3712 GLEN OAKS DRIVE  
NANAIMO BC V9T 6H3  
CANADA

**Delivery Address:**

3712 GLEN OAKS DRIVE  
NANAIMO BC V9T 6H3  
CANADA

---

**Last Name, First Name, Middle Name:**

Nygren, Michael

**Mailing Address:**

17138 4TH AVENUE  
SURREY BC V3Z 9P6  
CANADA

**Delivery Address:**

17138 4TH AVENUE  
SURREY BC V3Z 9P6  
CANADA

---

NO OFFICER INFORMATION FILED AS AT May 31, 2016.

---